

**MEMPHIS AND SHELBY COUNTY OFFICE OF
PLANNING AND DEVELOPMENT**

STAFF REPORT

#3

Major Modification – Site Plan Review

CASE NUMBER: PD 95-310 CC L.U.C.B. MEETING: January 8, 2015

Held from December 11,2014

DEVELOPMENT NAME: Buckingham Farms PD Parcel P

LOCATION: Hacks Cross in Buckingham Farms

COMMISSION DISTRICT: 4

OWNER OF RECORD: Buckingham Farms LLC

APPLICANT: Nonconnah Center

REPRESENTATIVE: David Bray

REQUEST: Site plan review for shopping center and gas station

AREA: 3.0 Acres

EXISTING LAND USE & ZONING: Vacant Land regulated by Parcel P of the Buckingham Farms Planned Development, P.D. 95-310 CC

**OFFICE OF PLANNING AND DEVELOPMENT
RECOMMENDATION**

HOLD

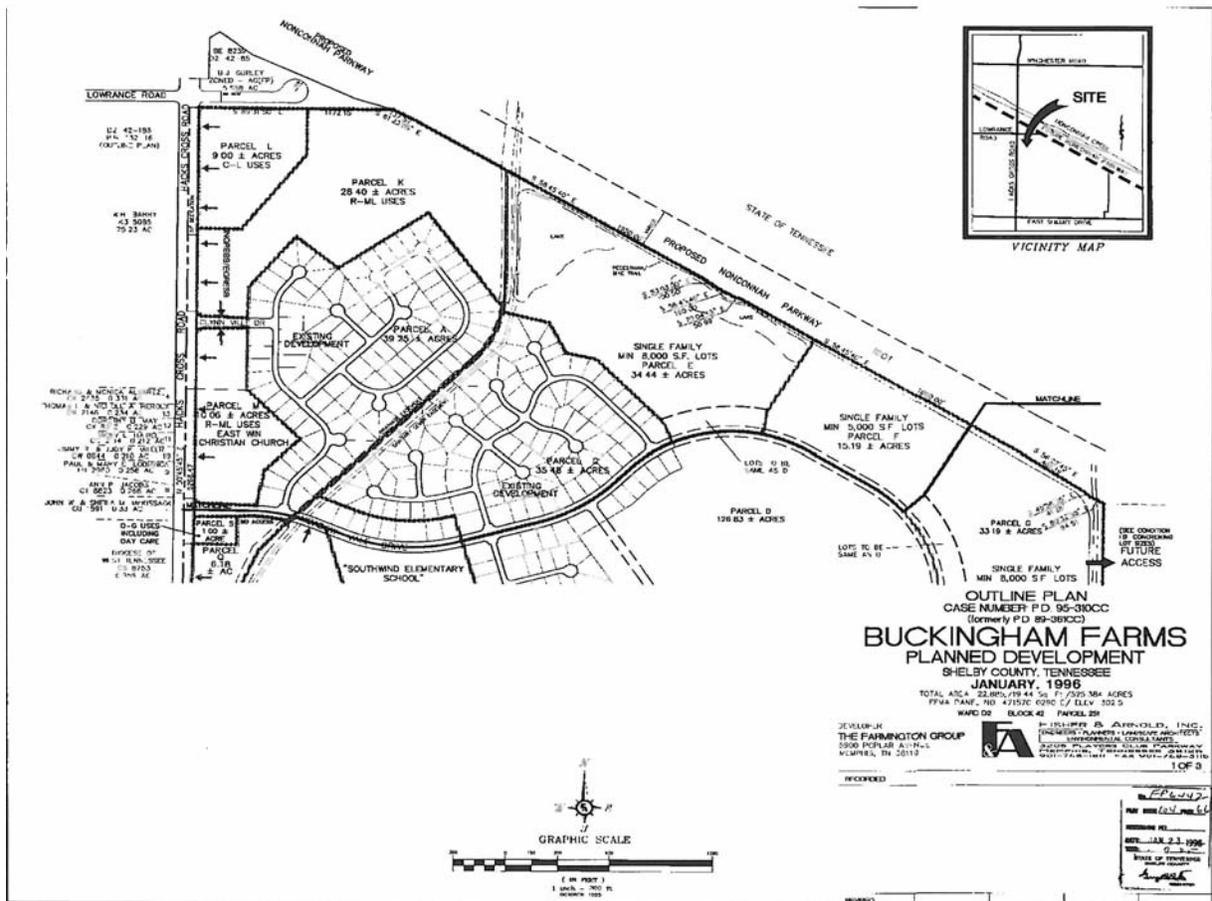
Staff: John D. (Don) Jones

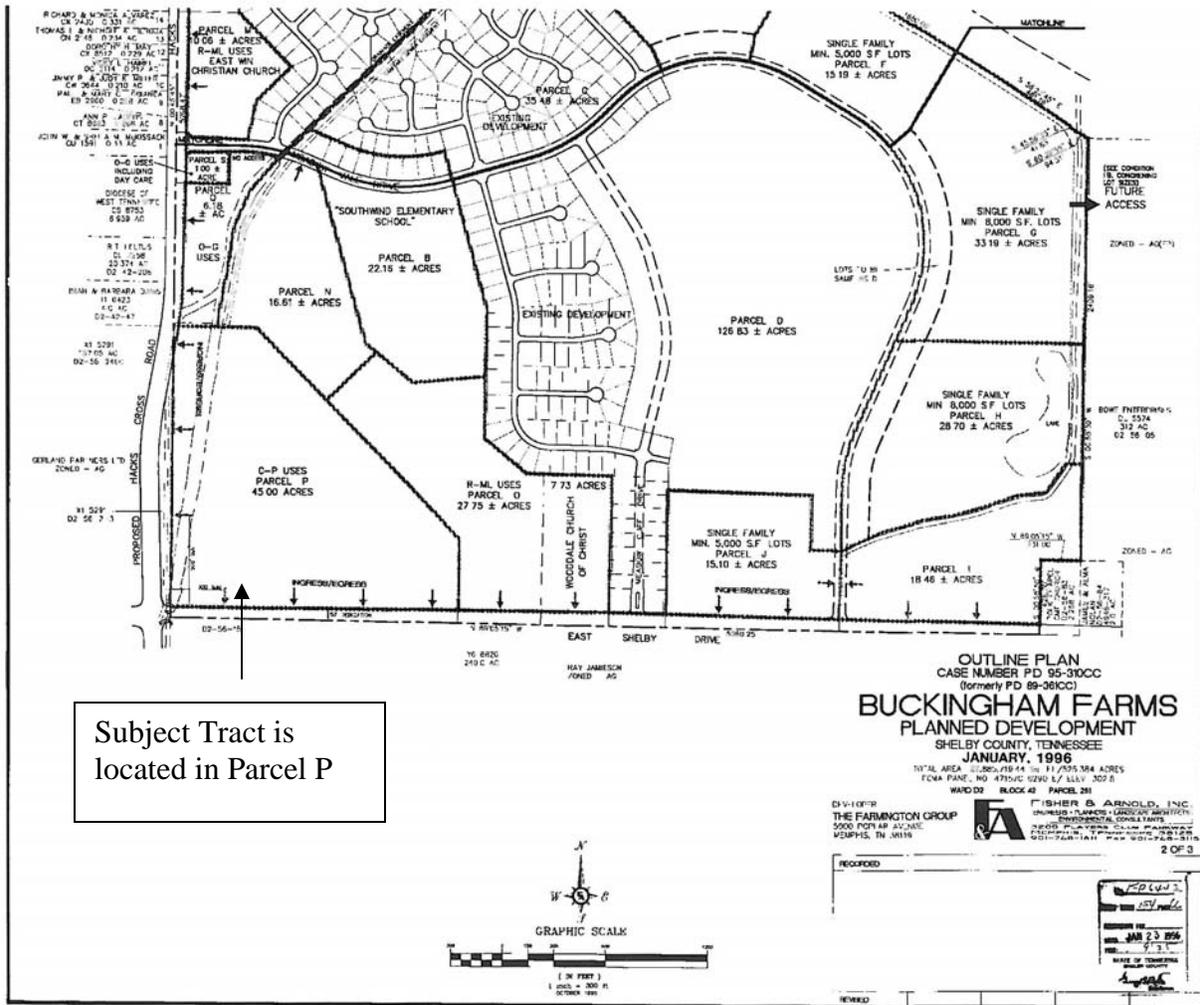
E-Mail: john.jones@memphistn.gov

CONCLUSIONS

The application is missing some key information that staff needs in order to complete its review including building elevations and sign details. Once those items are submitted, staff should be able to complete the review for the February 12, 2015 hearing.

Buckingham Farms Outline Plan (2 pages North to South)





Area P is located at bottom left hand corner of the site. It is +/- 45 acres and regulated by the CMU-2 District

Staff Review:

Land Use Control Board Action, (UDC 9.6.7 A)

This sub-section of the Unified Development Code requires that an application filed with the OPD must be presented to the Memphis and Shelby County Land Use Control Board, LUCB, for action by that Board no less than 35 days and no greater than 75 days from the date the application was filed.

Sub-section 9.6.7 B of the UDC states that the action taken by the LUCB may be to approve, approve with conditions, reject, take the matter under advisement or defer decision until the next meeting of the Board.

This application was filed on October 30, 2014. The January 8 hearing date will mark 70 days from the date the application was submitted. So, action by the board is necessary at the January 8, 2015 hearing.

Prior Action on the Item

December, 8, 2014, this item was recommended for a “Hold” by agreement with the OPD and the applicant. Site Plan details and the property owners signature on the application were missing and not submitted in time for a complete review.

Since that time, a revised application that contains the property owners signature has been submitted. However, there are a number of items that have not been submitted to date.

Moving Forward

Staff has identified those items below and will require that they be submitted in time for a full review prior to the February 12 hearing before the LUCB, or staff will recommend rejection.

The following items are needed in order to complete the required Site Plan Review of this project:

From the Approved Conditions for the Buckingham Farms Planned Development – P.D.. 95-310CC

1. Condition V. B: All air conditioning and heating equipment shall be screened from view adjacent properties and public roads. Roof mounted equipment shall be screened using a parapet or other architectural feature.

Staff Response: Show on the plat the method of screening.

2. Condition IX. B.1 In commercial and multi-family residential parcels the location, dimensions, floor area, and height of all buildings structures, signs ad parking areas.

Staff Response: Details on the height of the structures and the signs are needed.

3. Condition IX.B.4: In Commercial areas, the proposed exterior appearance of buildings and signs.

Staff Response: Need details – these should be similar in materials and percentages of types of materials to the projects on the opposite side of Shelby Drive (Greens at Irene P.D.)

UDC – Use Standards, 2.6.3 J. Convenience Store with Gas Pumps, Gas Station, Commercial Electrical Vehicle Charge Station

2.6.3J(1) General Standards

4. 2.6.3J(1)(c). No sign of any type or any gasoline pump, tank, or EV charger shall be located within 20 feet of any residential district. ... No gasoline pump, tank vent pipe located at gasoline stations constructed after August 21, 2012 shall be located within 125 feet of any single-family residential district.

Staff Response: Indicate on the final plat which Parcel of the Buckingham Farms P.D. abuts the perimeter of this site.

5. 2.6.3J(1)(d) A Class III buffer shall be established along any side of the property adjacent to a residential use.

Staff Response: Verify that the abutting property to this site is not zoned for residential use.

6. 2.6.3J(1)(e). Free standing vents shall not be permitted.

Staff Response: Confirm that this requirement is being met.

2.6.3J(2). Fuel Canopies

7. 2.6.3J(2)(b). The canopy shall not exceed a height of 20 feet.

Staff Response: Show detail.

8. 2.6.3J(2)(c) The canopy shall be integrated architecturally with the design of the principal building and shall be complementary to the overall color scheme of the building façade from which it projects.

Staff Response: Show details

9. 2.6.3J(2)(d) Canopy lighting shall not extend beyond the area beneath the canopy and all fixtures shall be recessed, including any fixture or lens.

Staff Response: Show details

GENERAL INFORMATION

Street Frontage: Hacks Cross Road --- +/- 270.01'
Shelby Drive ----- +/- 420.00'

Planning District: Collierville

Census Tract: 215.10

Zoning Atlas Page: 2450

Parcel ID: D0256 00384

DEPARTMENTAL COMMENTS

The following comments were provided by agencies to which this application was referred:

City Engineer: No comments received.

County Engineer: No comments received.

City Fire Division: No comments received.

County Fire Department: No comments received.

City Real Estate: No comments received.

County Real Estate: No comments received.

City/County Health Department- No comments received.

County Board of Education: No comments received.

Construction Code Enforcement: No comments received.

Memphis Light, Gas and Water: No comments received.

Bell South : No comments received.

Memphis Area Transit Authority (MATA): No comments received.
OPD-Regional Services: No comments received.
OPD-Plans Development: No comments received.
Division of Park Services: No comments received.

Neighborhood Associations:

East Shelby Alliance No objection

Buckingham Farms HOA

1/2/2015

RE Propose ServiceConvenience Business.htm

Hi John,

Yes the Steelers WON!

I know the area is commercial but I was concerned that another service station/convenience store at that intersection could accommodate three such businesses less than 1/4 of a mile apart. But I am sure they understand the concept of "location, location, location"

I have been receiving the Land Use Board Monthly Meeting for more than 7 years. Mary Baker was sending them to me monthly. I received them from you since the first of the year. But they stopped about 5 months ago. I have provided input on many proposed businesses in this area. One was as far away as Winchester and Forest Hill Irene when Baptist wanted to have a larger sign than the one that was eventually approved. I also recently provided opinion on the Church at Shelby Dr. and Riverdale and the request to place a service/convenience store at Germantown and Shelby Dr.

Yes, you can give my info to developers for my comment that reflect the opinion of this community. Our web site, buckinghamfarmshoa.com is our avenue for a wide community info.

I have site plans for all phases by Boyle Development. The Buckingham Farms HOA has a good working relationship with Boyle, especially since they still have 80 lots in our community.

Shirley